



ⓐ Perspective Sketch



ⓑ Perspective Sketch



Key Plan



St. Paul's Townhomes

Transitional Design Perspectives

BZA APPLICATION SITE PLAN

SAINT PAUL'S TOWNHOUSE AND PAULIST FATHERS' BUILDING PARCEL

LOT 1067, SQUARE 3648

WASHINGTON, DC



PREPARED FOR:
ELM STREET DEVELOPMENT, INC.
 175 Admiral Cochrane Dr.
 SUITE 112
 Annapolis, MD, 21401
 P. 410-266-9700
 Mr. Stephen M. Horne
 shorne@elmstreetdev.com

OWNER
THE PAULIST FATHERS
MAILING ADDRESS:
 P.O. BOX 20606
 NEW YORK, NY 10023
OFFICE ADDRESS:
 415 WEST 59TH STREET
 NEW YORK, NY 10019
 212-757-8072
Contact: REV. ERIC ANDREWS, CSP

DEVELOPER
ELM STREET DEVELOPEMENT, INC.
 175 Admiral Cochrane Drive
 Suite 112
 Annapolis, Maryland 21401
 410-266-9700
Contact: Mr. Stephen M. Horne

CIVIL ENGINEER
VIKA Maryland, LLC
 20251 Century Boulevard
 Suite 400
 Germantown, Maryland 20874
 301-916-4100
Contact: Mr. Jeff Amateau, P.E.

SITE SURVEYOR
VIKA Maryland, LLC
 20251 Century Boulevard
 Suite 400
 Germantown, Maryland 20874
 301-916-4100
Contact: Mr. Harry Jenkins, L.S.

LANDSCAPE ARCHITECT
STUDIO 39
 6416 Grovedale Drive
 Suite 100-A
 Alexandria, Virginia 22310
 P. 703-719-6500
 F. 703-719-6503
Contact: Ms. Caitlin Olson

ATTORNEY
Goulston & Storrs
 1999 K Street, NW
 5th Floor
 Washington, DC 20006
 P. 202-721-1132
 F. 202-263-0516
Contact: Mr. Jeff C. Utz

REVISIONS	DATE

PROFESSIONAL SEAL

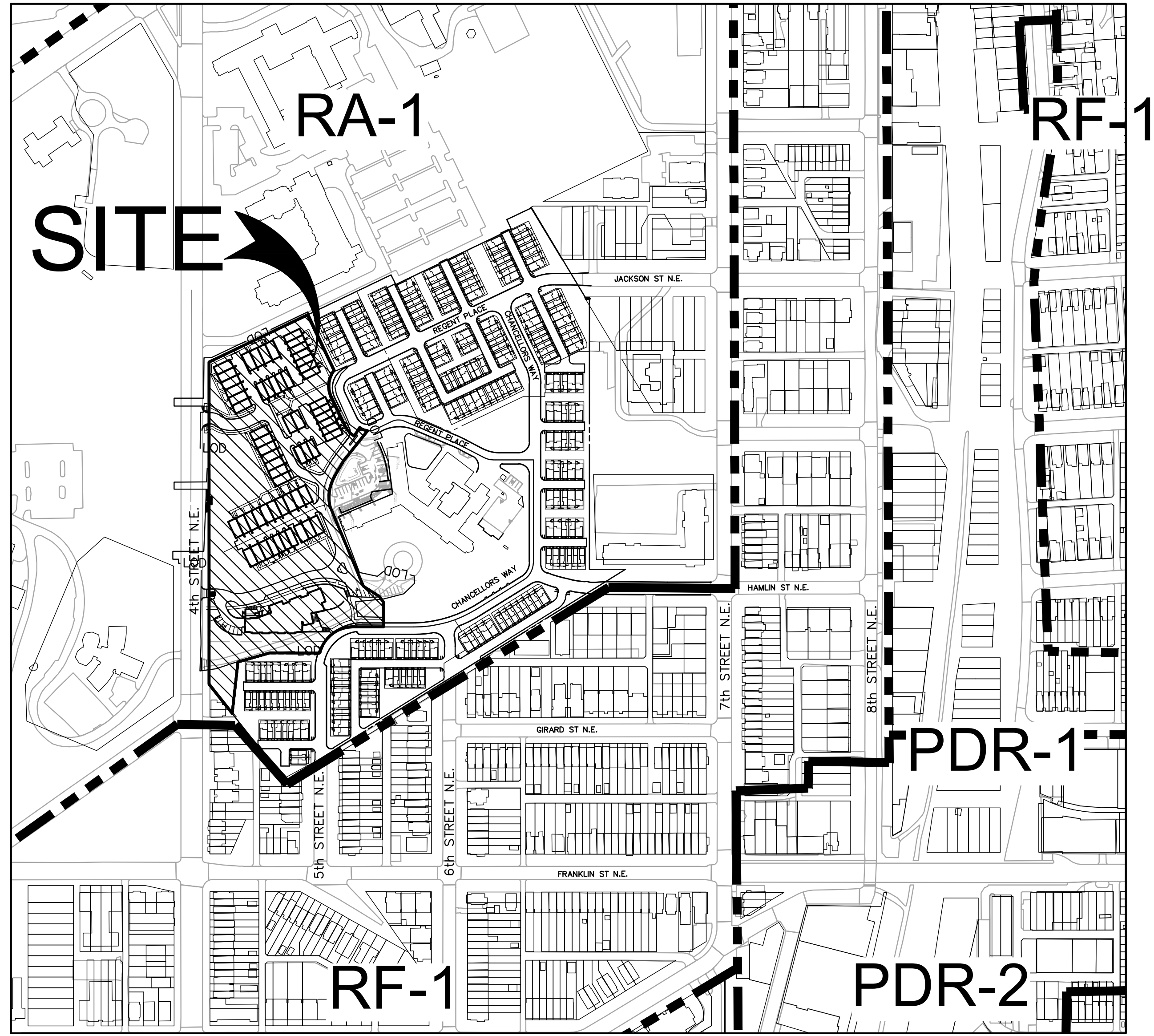
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE DISTRICT OF COLUMBIA. JEFFREY B. AMATEAU LICENSE NO. 905527 EXPIRATION DATE JULY 14, 2018

ST. PAUL'S TOWNHOUSE AND PAULIST FATHERS' BUILDING PARCEL
 LOT 1067
 SQUARE 3648
 3015 4th STREET N.E.
 WASHINGTON, D.C.

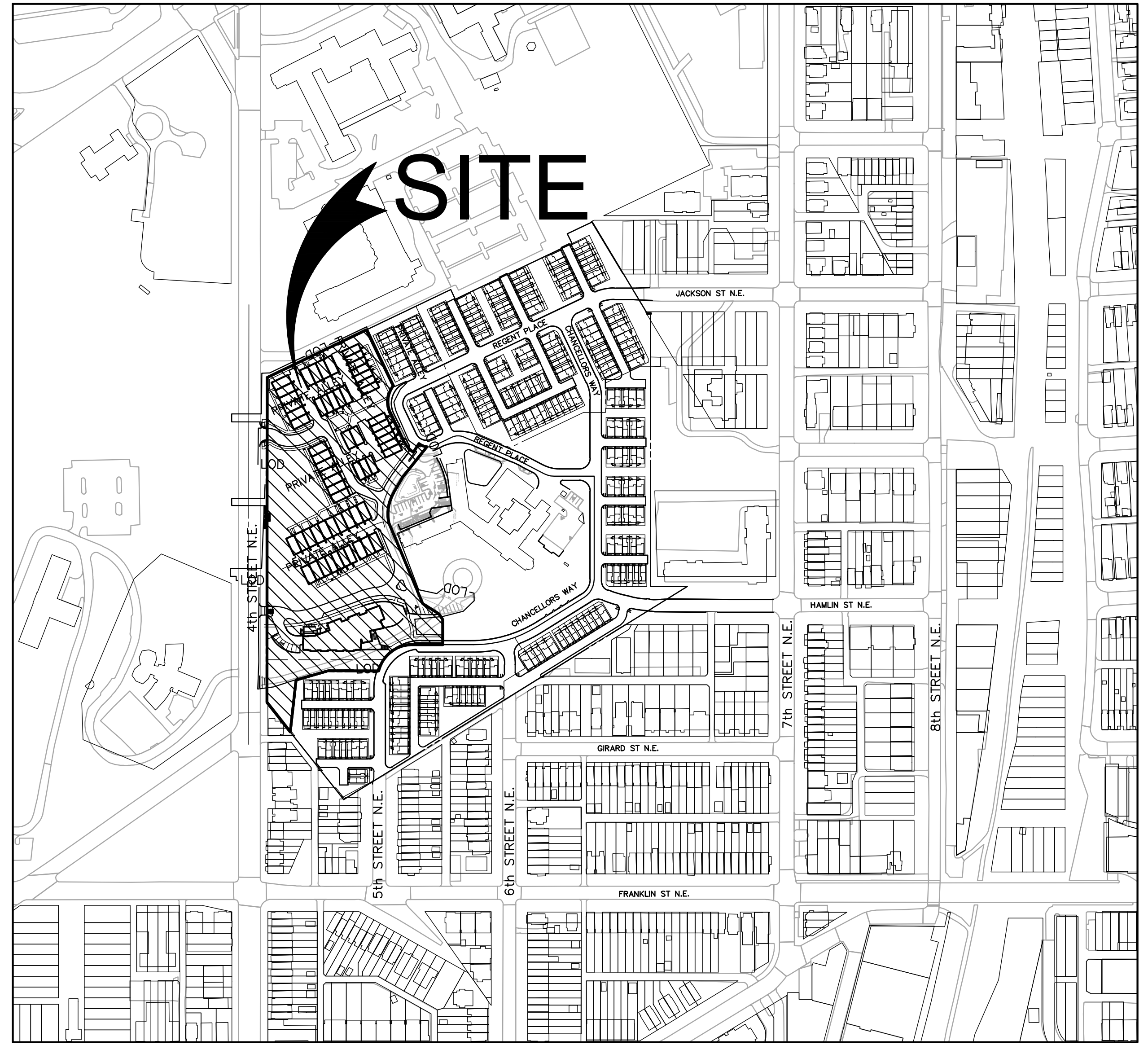
COVER SHEET

DRAWN BY: CAD
 DESIGNED BY: LK
 DATE ISSUED: FEBRUARY 2018
 VIKA PROJECT VM1453 G
 DRAWING NO.

SHEET NO. **C-01**



ZONING MAP
 SCALE: 1" = 200'



VICINITY MAP
 SCALE: 1" = 200'

SHEET INDEX

- C-01 COVER SHEET
- C-02 LEGEND AND NOTES
- C-03 EXISTING CONDITIONS PLAN INCLUDING EXISTING GRADING
- C-04 DEMOLITION PLAN
- C-05 THEORETICAL LOT AND BUILDING LAYOUT
- C-05A THEORETICAL LOT AND BUILDING LAYOUT TABULATION TABLE
- C-06 SITE PLAN
- C-07 GEOMETRIC LAYOUT PLAN
- C-08 TOWNHOUSE COMMUNITY LAYOUT
- C-09 GRADING PLAN
- C-10 UTILITY PLAN
- C-11 PUBLIC SPACE PLAN AND INSETS
- C-12 ROADWAY TYPICAL SECTION AND DETAILS
- C-13 EXISTING TREE SURVEY AND EX LANDSCAPE PLAN
- C-14 TREE PRESERVATION PLAN
- C-15 SHARED EASEMENT EXHIBIT - FUTURE STATE
- C-16 EXHIBIT SHOWING A&T LOTS

SOURCE NOTES

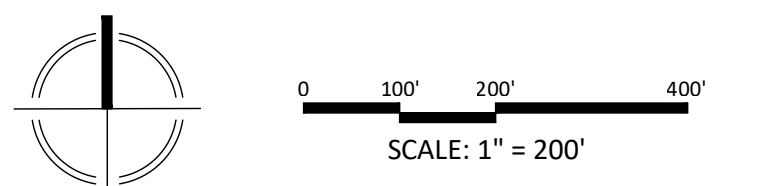
BOUNDARY INFORMATION SHOWN HEREON WAS OBTAINED FROM OFFICIAL CITY RECORDS AND VERIFIED IN THE FIELD INSOFAR AS POSSIBLE. PROPERTY LINE DIMENSIONS FROM OFFICIAL RECORDS MAY NOT NECESSARILY AGREE WITH ACTUAL MEASURED DIMENSIONS. ALL PROPERTY LINES IN THE DISTRICT OF COLUMBIA ARE SUBJECT TO CHANGE WITH THE FINAL DETERMINATION TO BE MADE BY THE OFFICE OF THE SURVEYOR FOR THE DISTRICT OF COLUMBIA. A "SURVEY TO MARK" PREPARED BY DISTRICT OF COLUMBIA REGISTERED LAND SURVEYOR AND VERIFIED BY THE OFFICE OF THE SURVEYOR MAY BE REQUIRED TO ESTABLISH A FINAL BOUNDARY DETERMINATION AND CONFIGURATION FOR THIS PROPERTY.

NOTE:

ALL SITE PLANS AND LANDSCAPE PLANS ARE SUBJECT TO REVISION. THE DEVELOPER RESERVES THE RIGHT TO MAKE CHANGES WITHOUT NOTICE, IN ELEVATIONS, DIMENSIONS, CONTOURS, ETC., INCLUDING THE SIZING, LOCATION, CREATION, OR ELIMINATION OF ANY PATIO, DECK, RETAINING WALL, OR OTHER LOT FEATURES. WHEN REQUIRED, APPROVAL OF ANY REVISION TO SITE AND LANDSCAPE PLANS WILL BE OBTAINED FROM THE APPROPRIATE LOCAL JURISDICTION.

"FOR LOCATION OF UTILITIES CALL 8-1-1 or 1-800-257-7777 OR LOG ON TO www.call811.com or http://www.missutility.net 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY"

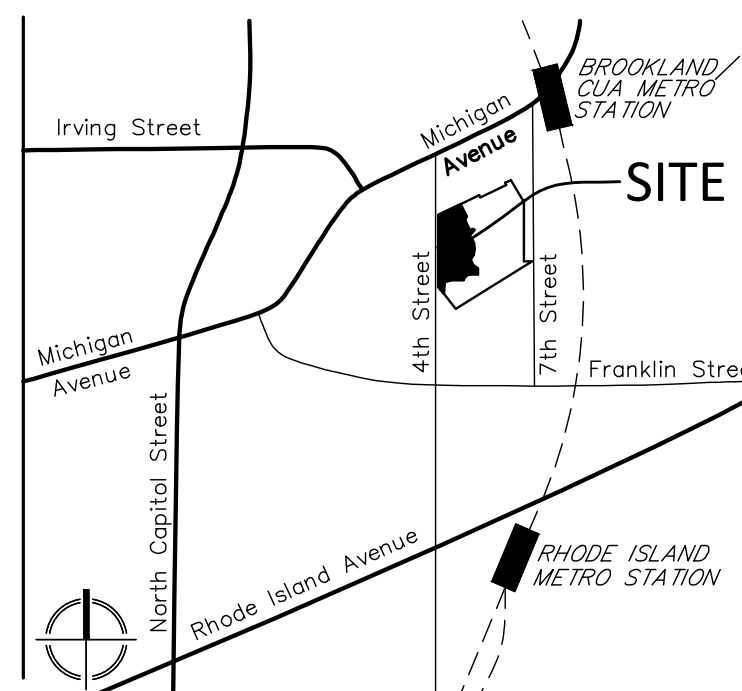
The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation.



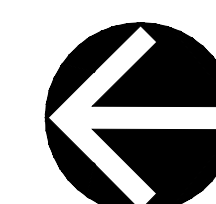


VKA
ENGINEERS PLANNERS
LANDSCAPE ARCHITECTS SURVEYORS
VKA MARYLAND, LLC
20251 CENTURY BOULEVARD SUITE #400
GERMANTOWN, MARYLAND 20874
PHONE: (301) 916-4100
FAX: (301) 916-2262
GERMANTOWN, MD. MCLEAN, VA.

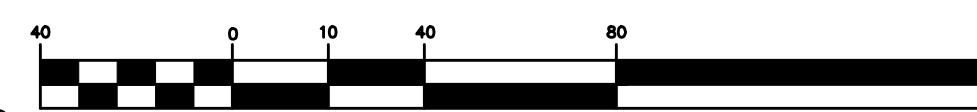
PREPARED FOR:
**ELM STREET
DEVELOPMENT, INC.**
175 Admiral Cochrane Dr.
SUITE 112
Annapolis, MD, 21401
P. 410-266-9700
Mr. Stephen M. Horne
shorne@elmstreetdev.com



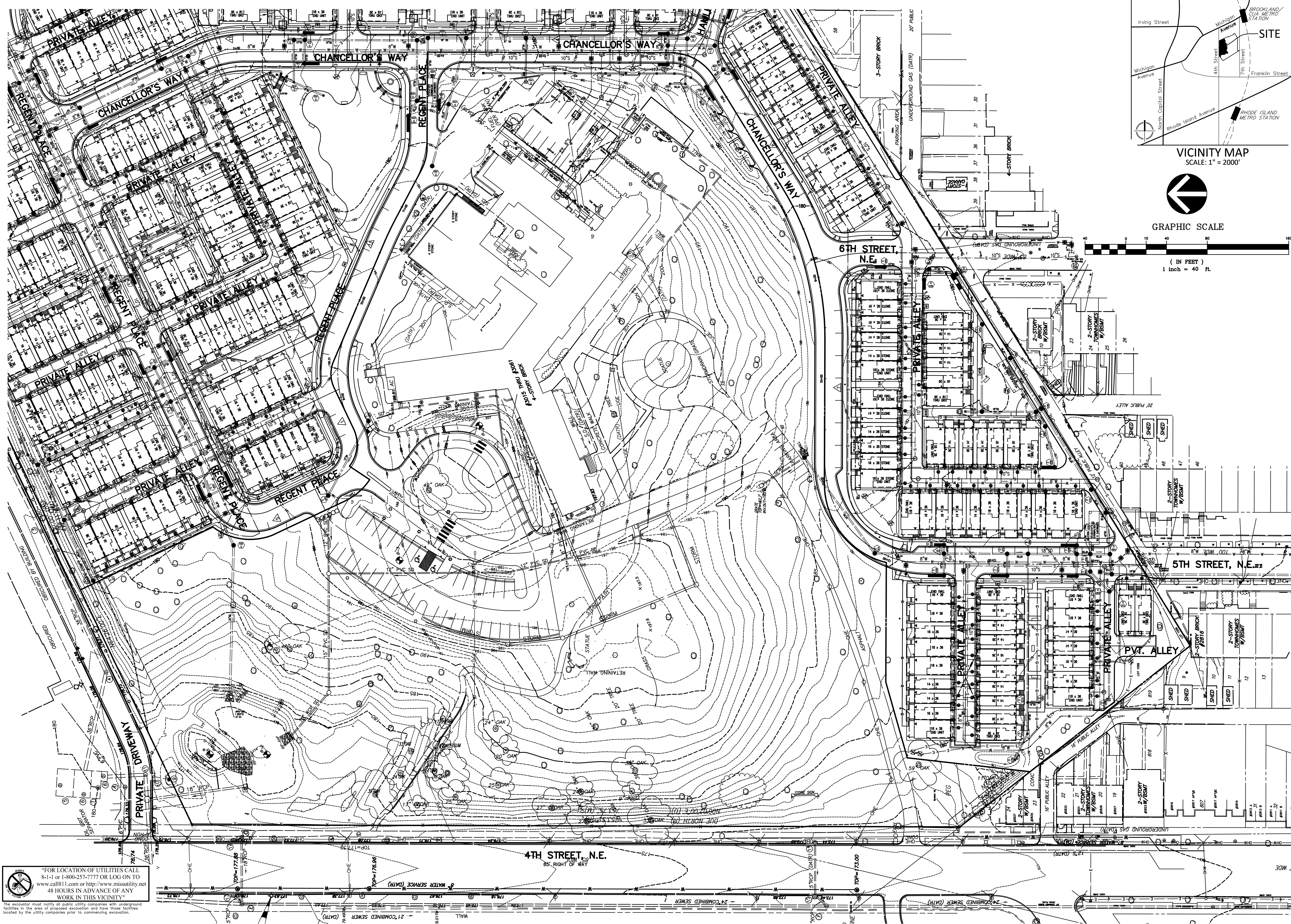
VICINITY MAP
SCALE: 1" = 2000'



GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.



REVISIONS	DATE

PROFESSIONAL SEAL

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE DISTRICT OF COLUMBIA. JEFFREY B. AMATEAU LICENSE NO. 905527 EXPIRATION DATE JULY 14, 2018

**ST. PAUL'S TOWNHOUSE
AND PAULIST
FATHERS'
BUILDING PARCEL**
LOT 1067
SQUARE 3648
3015 4th STREET N.E.
WASHINGTON, D.C.

**EXISTING
CONDITIONS
PLAN
INCLUDING
EXISTING
GRADING**

DRAWN BY: CAD
DESIGNED BY: LK
DATE ISSUED: FEBRUARY 2018

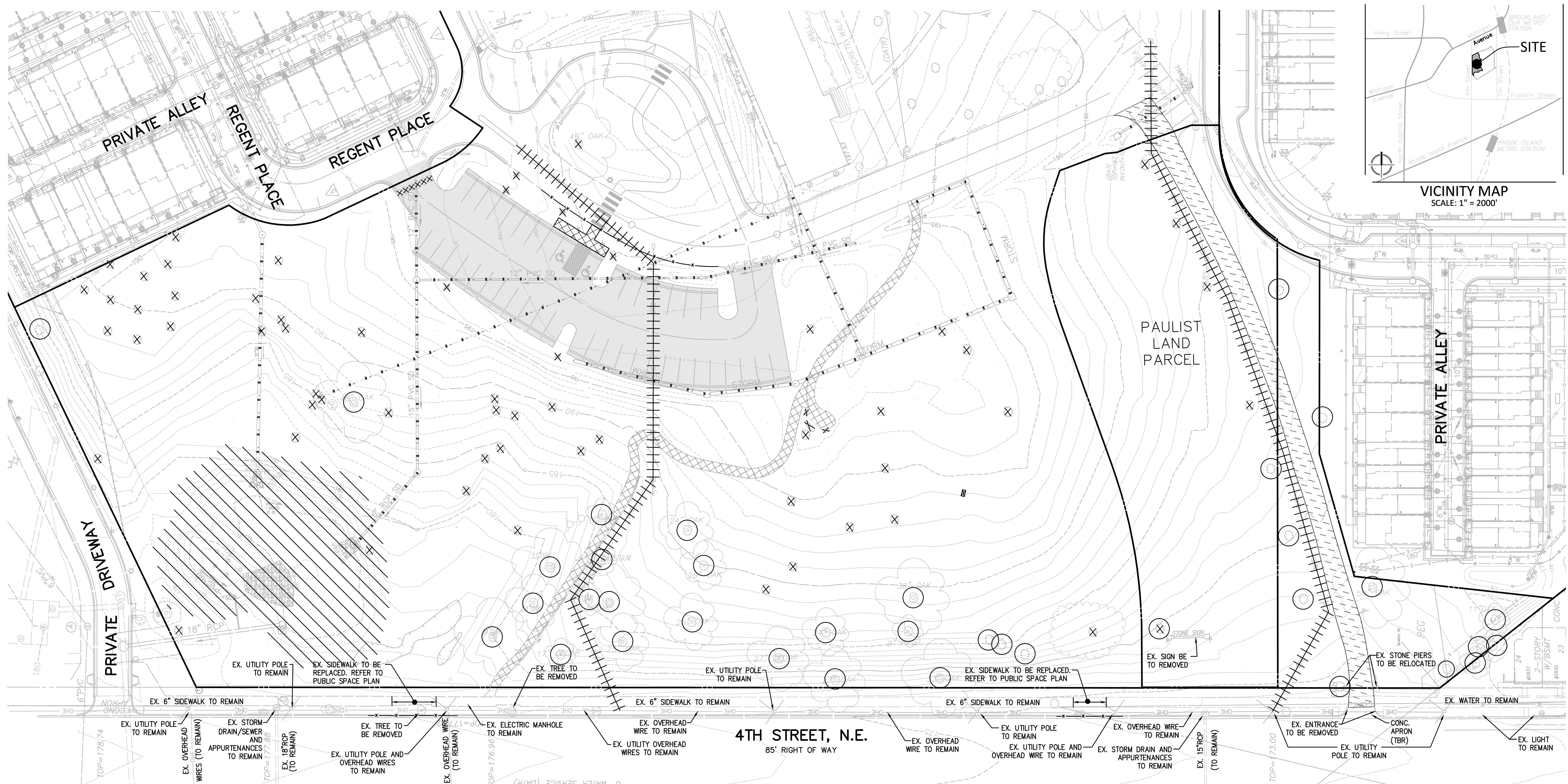
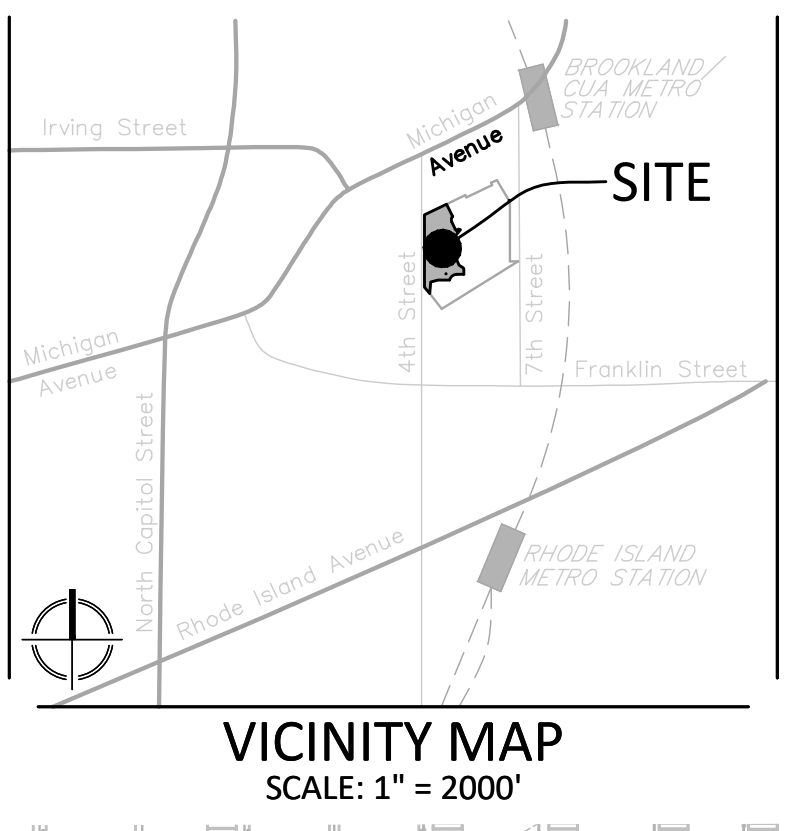
VKA PROJECT VM1453 G

DRAWING NO. C-03

"FOR LOCATION OF UTILITIES CALL 8-1-1 or 1-800-257-7777 OR LOG ON TO www.call811.com or http://www.missutility.net 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY"



PREPARED FOR:
ELM STREET DEVELOPMENT, INC.
 175 Admiral Cochrane Dr. SUITE 112
 Annapolis, MD, 21401
 P. 410-266-9700
 Mr. Stephen M. Horne
 shorne@elmstreetdev.com



REVISIONS	DATE

PROFESSIONAL SEAL

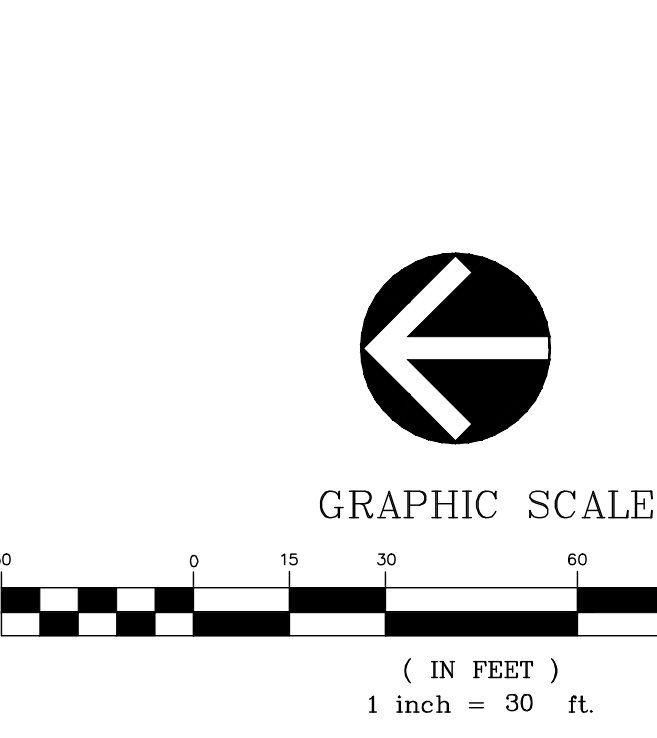
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE DISTRICT OF COLUMBIA. JEFFREY B. AMATEAU LICENSE NO. 905527 EXPIRATION DATE: JULY 14, 2018

ST. PAUL'S TOWNHOUSE AND PAULIST FATHERS' BUILDING PARCEL

LOT 1067
 SQUARE 3648
 3015 4th STREET N.E.
 WASHINGTON, D.C.

DEMOLITION PLAN

DRAWN BY: CAD
 DESIGNED BY: LK
 DATE ISSUED: FEBRUARY 2018
 VKA PROJECT VM1453 G
 DRAWING NO.



FOR LOCATION OF UTILITIES CALL 8-1-1 or 1-800-257-7777 OR LOG ON TO www.call811.com or http://www.missutility.net 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY

The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation.

PLAN LEGEND

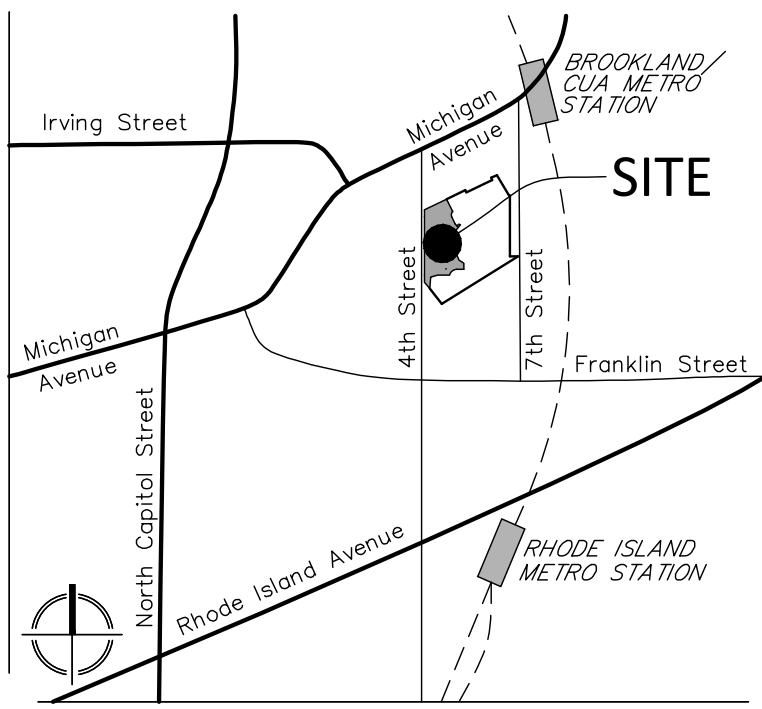
- PORTION OF EXISTING PIPE TO BE REMOVED
- LIMITS OF EXISTING CURB AND GUTTER REMOVAL
- EXISTING OVERHEAD WIRES TO BE RELOCATED
- EXISTING STRUCTURE TO BE REMOVED
- EXISTING PARKING TO BE REMOVED
- EXISTING SIDEWALK TO BE REMOVED
- EXISTING DRIVEWAY TO BE REMOVED
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO BE SAVED
- EXISTING BENCHES TO BE REMOVED
- EXISTING BOLLARDS TO BE REMOVED
- EXISTING LIGHTS TO BE REMOVED

CAUTION!!
 THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (including, but not limited to, manholes, inlets, valves and marks made upon the ground by others) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

MISS UTILITY - WASHINGTON D.C.
 CALL "MISS UTILITY" AT 811 AT LEAST 48 HOURS BUT NO MORE THAN 15 CALENDAR DAYS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF OF THE DISTRICT OF COLUMBIA CODES AND REGULATIONS.

DEMOLITION NOTES:

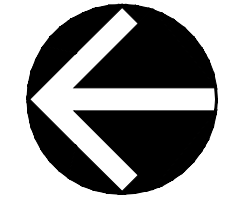
- ALL DEMOLITION SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE CURRENT REGULATIONS OF THE DISTRICT OF COLUMBIA.
- ALL APPLICABLE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO COMMENCING DEMOLITION.
- REFER TO GENERAL NOTES, SHEET 2, FOR ADDITIONAL NOTES.
- ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN PER EXISTING RECORDS. CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO ASCERTAIN THE EXISTENCE AND LOCATION OF EXISTING UTILITIES.
- ITEMS SHOWN TO BE RELOCATED SHALL BE CAREFULLY REMOVED AND STORED BY THE CONTRACTOR UNTIL SUCH TIME AS THEY CAN BE PLACED IN THEIR NEW LOCATION. CONTRACTOR SHALL VERIFY THESE ITEMS WITH THE OWNER, PRIOR TO CONSTRUCTION.
- ALL ITEMS WHICH REQUIRE VERIFICATION BETWEEN THE CONTRACTOR AND THE CONTRACTOR AND THE OWNER SHALL BE DONE IN WRITING THE CONTRACTOR PRIOR TO BIDDING AS A METHOD OF BID CLARIFICATION.
- CONTRACTOR TO STUDY GEOTECHNICAL INFORMATION AVAILABLE AND CLEARLY REPORT PROPOSED CONSTRUCTION METHODOLOGIES TO THE OWNER PRIOR TO BIDDING.
- CONTRACTOR MUST ADHERE TO ALL SAFETY REGULATIONS GIVEN BY O.S.H.A.
- CONTRACTOR SHALL SECURE A D.C. CONSTRUCTION PERMIT PRIOR TO WORKING IN PUBLIC OPEN SPACE.
- THE CONTRACTOR SHALL CALL "MISS UTILITY" AT 1-800-527-7777 AT LEAST FIVE (5) DAYS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF THE PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.
- RECORD INFORMATION TAKEN FROM D.C. RECORDS FOR WATER AND SEWER AS WELL AS SOME FIELD RUN SURVEY DONE BY THIS FIRM. THE CONTRACTOR SHALL INCLUDE WITHIN HIS SCOPE OF WORK, PROVISIONS FOR EXCAVATING AND REMOVAL OF ANY ABANDONED UTILITIES ON SITE. THE CONTRACTOR SHALL EXAMINE THE D.C. DRAWINGS, PRIOR TO CONSTRUCTION.
- TEST PIT LOCATIONS SHOWN ARE PRELIMINARY AND SUBJECT TO REVISIONS. ADDITIONAL TEST PITS MAY BE REQUIRED, FOLLOWING "UTILITY MARK-OUT" PROCEDURE (i.e. TEST PITS FOR GAS, ELECTRIC, CABLE, TELEPHONE, ETC.) AS ORDERED BY THE CONTRACTOR VIA MISS UTILITY LOCATIONS BE REVISED, PRIOR TO FINAL JURISDICTIONAL APPROVAL.
- PLEASE NOTE THAT THE CONTRACTOR MAY BE REQUIRED TO REPAIR AND REPLACE ANY EXISTING CURB AND GUTTER THAT IS DAMAGED DURING CONSTRUCTION OR DOES NOT MEET DC REGULATIONS AS DIRECTED BY DC GOVERNMENT PERSONNEL. THIS IS AN ADDITION TO THE AMOUNT OF CURB AND GUTTER SHOWN TO BE REMOVED.
- OWNER/ CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH PEPCO ON ANY POLES RELOCATIONS. THIS SHALL INCLUDE ANY ISSUES RELATIVE TO EXISTING ELECTRIC POLES; GUY WIRES, STREET LIGHTS, AND TRAFFIC CONTROL DEVICES.
- ALL EXISTING WATER AND SANITARY CONNECTIONS MUST BE DISCONNECTED FROM PUBLIC SYSTEM.
- DEVELOPER/ CONTRACTOR IS RESPONSIBLE FOR CLEANING AND CLEARING ALL STORM AND SANITARY SEWER STRUCTURES THAT ARE FILLED WITH DEBRIS AND CLOGGED. CONTRACTOR IS RESPONSIBLE FOR SECURING ALL PERMITS ASSOCIATED WITH THIS WORK.
- ALL DATA SHOWN AS "PER RECORDS" MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THIS DATA AND SECURING ALL PERMITS. THE ENGINEER OF RECORD SHALL BE PROVIDED THIS DATA WITHIN 24 HOURS.
- CONTRACTOR TO CAP EXISTING WATER AND SEWER TAP/ LATERALS IN PUBLIC SPACE DURING THE CONSTRUCTION OF THE NEW WATER AND SANITARY LATERALS.



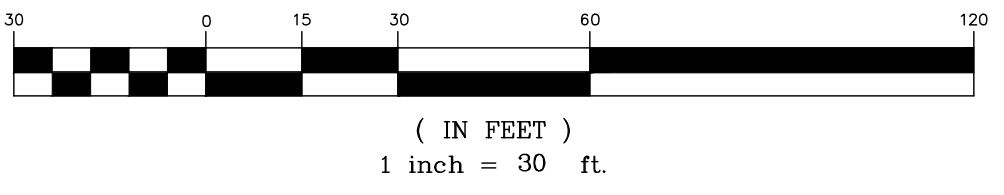
VICINITY MAP
SCALE: 1" = 2000'

VIVA
ENGINEERS PLANNERS
LANDSCAPE ARCHITECTS SURVEYORS
VIVA MARYLAND, LLC
20251 CENTURY BOULEVARD SUITE #400
GERMANTOWN, MARYLAND 20874
PHONE: (301) 916-4100
FAX: (301) 916-2262
GERMANTOWN, MD. MCLEAN, VA.

PREPARED FOR:
**ELM STREET
DEVELOPMENT, INC.**
175 Admiral Cochrane Dr.
SUITE 112
Annapolis, MD, 21401
P. 410-266-9700
Mr. Stephen M. Horne
shorne@elmstreetdev.com



GRAPHIC SCALE



REVISIONS	DATE

PROFESSIONAL SEAL

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE DISTRICT OF COLUMBIA.
JEFFREY B. AMATEAU LICENSE NO. 905527
EXPIRATION DATE JULY 14, 2018

**ST. PAUL'S
TOWNHOUSE
AND PAULIST
FATHERS'
BUILDING
PARCEL**
LOT 1067
SQUARE 3648
3015 4th STREET N.E.
WASHINGTON, D.C.

**THEORETICAL LOT
AND BUILDING
LAYOUT**

“FOR LOCATION OF UTILITIES CALL
8-1-1 or 1-800-257-7777 OR LOG ON TO
www.call811.com or http://www.missutility.net
48 HOURS IN ADVANCE OF ANY
WORK IN THIS VICINITY”
The excavator must notify all public utility companies with underground
facilities in the area of proposed excavation and have those facilities
located by the utility companies prior to commencing excavation.

DRAWN BY: CAD
DESIGNED BY: LK
DATE ISSUED: FEBRUARY 2018
VIVA
PROJECT: VM1453 G
DRAWING
NO.